

www.CountryHomeInspection.com

Melissa and Will Jenkins

Property Address:

2120 N. Pacific Avenue #54
Santa Cruz CA 95060



Country Home Inspection and Termite Inc.

Clive Belvoir ASHI 247382 FR 45419

P.O. Box 913

Boulder Creek CA 95006

Office (831) 609-6017 Fax 609-6037 E-mail CountryHomeInspection@gmail.com



INVOICE

Country Home Inspection and Termite Inc.

P.O. Box 913

Boulder Creek CA 95006

Office (831) 609-6017 Fax 609-6037 E-mail

CountryHomeInspection@gmail.com

Inspected By: Clive Belvoir ASHI 247382 FR 45419

Inspection Date: 8/25/2014

Report ID: 14226

Customer Info:	Inspection Property:
Melissa and Will Jenkins	2120 N. Pacific Avenue #54 Santa Cruz CA 95060
Customer's Real Estate Professional: Dietrich Brandt Dietrich Realty	

Inspection Fee:

Service	Price	Amount	Sub-Total
Condo, Mobile Home or Townhouse Home Inspection	350.00	1	350.00
			Tax \$0.00
			Total Price \$350.00

Payment Method: Credit Card

Payment Status: Paid In Full At Time Of The Inspection

Note: Thank You

Table of Contents

[Cover Page 1](#)

[Invoice 2](#)

[Table of Contents 3](#)

[Intro Page 4](#)

[1 Grounds 5](#)

[2 Exterior 6](#)

[3 Heating / Air Conditioning 10](#)

[4 Plumbing System 12](#)

[5 Electrical System 15](#)

[6 Bathroom 16](#)

[7 Interiors 18](#)

[8 Kitchen 20](#)

[9 Structure 22](#)

[Summary / Safety / Health Deficient Items: 27](#)

[Summary / Habitability / Security Deficient Items: 29](#)

[Summary / Other Deficient / Note Items: 31](#)

[Agreement 34](#)

Date: 8/25/2014	Time: 1:00 PM	Report ID: 14226
Property: 2120 N. Pacific Avenue #54 Santa Cruz CA 95060	Customer: Melissa and Will Jenkins	Real Estate Professional: Dietrich Brandt Dietrich Realty

Comment Key or Definitions

The following definitions of comment descriptions represent this inspection report. All comments by the inspector should be considered before purchasing this home. Any recommendations by the inspector to repair or replace suggests a second opinion or further inspection by a qualified contractor. All costs associated with further inspection fees and repair or replacement of item, component or unit should be considered before you purchase the property.

Inspected (IN) = I visually observed the item, component or unit and if no other comments were made then it appeared to be functioning as intended allowing for normal wear and tear.

Not Inspected (NI) = I did not inspect this item, component or unit and made no representations of whether or not it was functioning as intended.

Not Present (NP) = This item, component or unit is not in this home or building.

Repair or Replace (RR) = The item, component or unit is not functioning as intended, or needs further inspection by a qualified contractor. Items, components or units that can be repaired to satisfactory condition may not need replacement.

In the report the location of items will be referred to as being located on the front, right, left and rear of home. Our perspective is from the exterior of the home looking at the front door.

This home is older than 60 years and the home inspector considers this while inspecting. It is common to have areas that no longer comply with current code. This is not a new home and this home cannot be expected to meet current code standards. While this inspection makes every effort to point out safety issues, it does not inspect for code. It is common that homes of any age will have had repairs performed and some repairs may not be in a workmanlike manner. Some areas may appear less than standard. This inspection looks for items that are not functioning as intended. It does not grade the repair. It is common to see old plumbing or mixed materials. Sometimes water signs in crawlspaces or basements could be years old from a problem that no longer exists. Or, it may still need further attention and repair. Determining this can be difficult on an older home. Sometimes in older homes there are signs of damage to wood from wood eating insects. Having this is typical and fairly common. If the home inspection reveals signs of damage you should have a pest control company inspect further for activity and possible hidden damage. The home inspection does not look for pest damage as a pest inspector does. The home inspection does not look for possible manufacturer re-calls on components that could be in this home. Always consider hiring the appropriate expert for any repairs or further inspection.

Standards of Practice:
ASHI American Society of Home Inspectors

In Attendance:
Seller

Type of building:
Mobile Home

Square Footage Approximate:
860

Approximate age of building:
Built 1960

Temperature:
Over 70

Weather:
Clear

Ground/Soil surface condition:
Dry

Rain in last 7 days:
No

Property is:
Furnished, Occupied

1. Grounds

This inspection is not intended to address or include any geological conditions or site stability information. For information concerning these conditions, a geologist or soils engineer should be consulted. Any reference to grade is limited to only areas around the exterior of the exposed areas of the foundation or exterior walls. This inspection is visual in nature and does not attempt to determine drainage performance of the site or the condition of any underground piping, including municipal water and sewer service piping or septic systems. Decks and porches are often built close to the ground, where no viewing or access is possible. These areas as well as others are too low to enter, or in some other manner not accessible, are excluded from the inspection and are not part of our inspection. Fences gates and retaining walls are not part of this inspection but may be reported on. Our inspection of the driveway or parking area is limited to within 50 feet of the home.

Styles & Materials

Grading & Drainage:

Above or at grade to road
Flat pad / site

Retaining Walls:

Concrete Block

Fences and Gates:

Wood

Walkways / Parking:

Stone
Gravel

Exterior Decks:

Wood decks

Items

1.0 DECKS

Comments: Repair or Replace

Low deck, clearance insufficient under deck. Noted on the left side deck. The underside of the wood deck(s) and framing were not inspected due to low clearance.



1.0 Item 1(Picture)

1.1 STAIRS

Comments: Repair or Replace

Exterior stairway height varies more than 3/8 of an inch. Noted on the rear stairs. Improper rise or run was noted at the stairs. This means that one or more of the stairs was higher or longer than the others or that the length of the stairs does not meet current standards. This should be considered a tripping hazard and correction is recommended.



1.1 Item 1(Picture)

1.2 FENCES / GATES

Comments: Inspected

1.3 GRADE / SHRUBBERY / PLANTER

Comments: Inspected

2. Exterior

The foregoing is an opinion of the general quality and condition of the roofing material. The inspector cannot and does not offer an opinion or warranty as to whether the roof, skylights or flashing may be subject to future leakage. This report is issued in consideration of the foregoing disclaimer. The only way to determine whether a roof, skylights and flashing are absolutely water tight is to observe them during a prolonged rainfall. Many times, this situation is not present during the inspection.

Styles & Materials

Roof Deck Styles:

Flat
Up to 3 1/2 pitch (low)

Roof Covering Material:

Cap sheet

Roof Flashing:

Metal flashing
Tar flashing

Viewed Roof Covering From:

Fully traversed and or viewed

Gutters / Roof Drains:

Metal gutters

Exterior Siding:

Fiber cement
Metal siding
Plywood

Trim:

Wood trim

Window / Skylights:

Vinyl sash
Metal sash
Picture windows
Sliding sash
Crank / lever sash
Multi-glaze / Insulated
Single glaze
Jalousie

Entry Doors:

Solid core
Glass large panes
Insulated glass

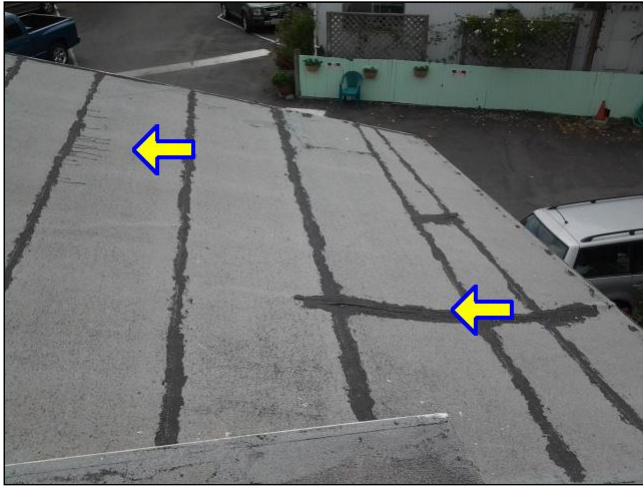
Garage Door and Safety Reverse:

This home has no garage

Items

2.0 ROOF

Comments: Repair or Replace



2.0 Item 1(Picture)



2.0 Item 2(Picture)



2.0 Item 3(Picture)

(1) Full evaluation and written findings with costs to cure by a qualified Roofing Contractor advised for all areas and components of the roof before the contingency release period. Sections of the roof material is lifting. Exposed nail heads are noted at various locations. Several areas of the roof have been patched.



2.0 Item 4(Picture)



2.0 Item 5(Picture)



2.0 Item 6(Picture)

(2) Application of "tar" as temporary roof repair noted. Noted at the roof at various locations. Recommend installing the proper flashing or keeping the areas sealed as needed. Areas of the tar flashing is cracking or gapped. Recommend further evaluation by a qualified licensed contractor.

2.1 GUTTERS / DOWNSPOUTS

Comments: Repair or Replace

The gutter appears to leak at the seam on the exterior of the home at various locations. I recommend cleaning and apply gutter sealant or epoxy.



2.1 Item 1(Picture)

2.2 SIDING / TRIM

Comments: Repair or Replace



2.2 Item 1(Picture)



2.2 Item 2(Picture)

Trim damaged on the home at various locations. The trim has signs of dry-rot or fungus damage. Recommend refer to pest inspection for exact locations and further information concerning all areas of pest, dry-rot or fungus damage.

2.3 EXTERIOR DOORS

Comments: Repair or Replace

Door jamb damaged on the rear exterior door. Dry-rot or fungus damage was noted on the bottom of the jamb(s) at the door. Recommend refer to pest inspection for further information.



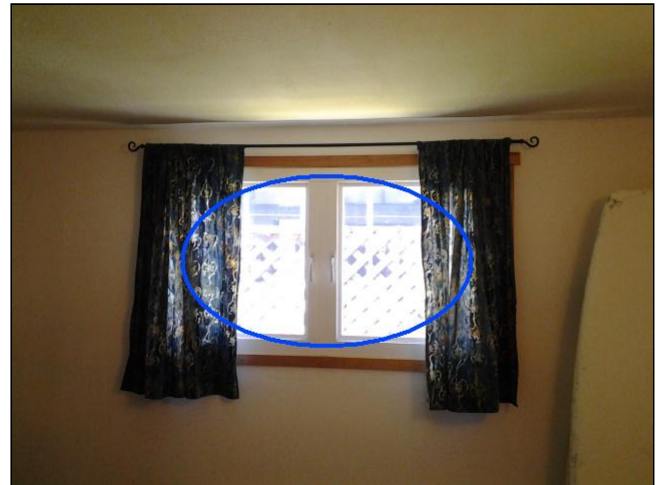
2.3 Item 1(Picture)

2.4 WINDOWS / SKYLIGHTS

Comments: Repair or Replace



2.4 Item 1(Picture)



2.4 Item 2(Picture)

Window screen(s) are missing. Noted on a couple of windows in the home. Recommend the screens be repaired or replaced as needed.

2.5 GARAGE / CARPORT

Comments: Not Present

2.6 PAINT / CAULK / SEAL / MISCELLANEOUS.

Comments: Inspected

3. Heating / Air Conditioning

The inspector is not equipped to inspect heat exchangers for evidence of cracks or holes, as this can only be done by dismantling the unit. This is beyond the scope of this inspection. Some furnaces are designed in such a way that the inspection is almost impossible. The inspector cannot light pilot lights. Safety devices are not tested by the inspector. NOTE: Asbestos material have been commonly used in heating systems. Determining the presence of asbestos can only be performed by laboratory testing and is beyond the scope of this inspection. Thermostats are not checked for calibration or timed functions. Adequacy, efficiency or even distribution of air through out a home cannot be addressed by a visual inspection. Electronic air cleaners, humidifiers and de-humidifiers are beyond the scope of this inspection. Have these systems evaluated by a qualified individual. The inspector does not perform pressure tests on cooling systems, therefore no representation is made regarding coolant charge or line integrity. Subjective judgment of system capacity is not part of the inspection. Normal service and maintenance is recommended on a yearly basis. It is suggested that all homes with fuel burning systems have a carbon monoxide installed for added safety. All fireplaces should be cleaned on a regular basis to make sure no cracks have developed.

Styles & Materials

Heat Type:

Forced Air
Pilot light on full time
Visually restricted heat exchanger

Vent type:

Sheet metal vent

Number of Heat Systems (excluding wood):

One

Ductwork:

Insulated metal duct

Filter Type:

Missing

Number of AC Only Units:

None

Items

3.0 HEATING EQUIPMENT

Comments: Repair or Replace

The furnace is an older unit. The typical life span of a furnace is 15 to 20 years. Many furnaces last well beyond this age. Because most components are not visible we recommend the furnace be further evaluated by a qualified HVAC contractor or have PG&E do a safety check. Anticipate the need for replacement.



3.0 Item 1(Picture)

3.1 THERMOSTATS

Comments: Inspected

3.2 AUTOMATIC SAFETY CONTROLS

Comments: Not Inspected

3.3 FILTER

Comments: Repair or Replace

The furnace filter is missing. The filter needs to be installed. I recommend service or repair as needed.



3.3 Item 1(Picture)

3.4 DUCTS / REGISTERS / DISTRIBUTION SYSTEMS

Comments: Inspected

3.5 PRESENCE OF INSTALLED HEAT SOURCE IN EACH ROOM

Comments: Repair or Replace

There is no heat source for the left side rooms. This is for your information.



3.5 Item 1(Picture)

3.6 COOLING AND AIR HANDLER EQUIPMENT

Comments: Not Present

4. Plumbing System

Water quality or hazardous materials (lead) is available from local labs. All underground piping related water supply, waste or sprinkler use are excluded from this inspection. City sewer service, septic systems and all underground pipes are not part of this inspection. Leakage or corrosion in underground piping cannot be detected by a visual inspection. Only the hose faucets which are attached to the home are tested during our inspection. You may wish to test any which are away from the home. The temperature pressure relief valve, at the upper portion of the water heater is a required safety valve which should be connected to a drain line of proper size terminating just above the floor elevation. If no drain is located in the floor a catch pan should be installed with a drain extending to a safe location. The stem caused by a blow off can cause scalding. Improper installations should be corrected. Laundry appliances are not tested or moved. We highly recommend removal and cleaning of the dryer vent at least once a year. Cleaning the vent pipe can significantly reduce the risk of a fire.

Styles & Materials

Water Shut Off Location: Handle shut off	Water Supply Approximate Size / Material: 3/4"	Plumbing Water Distribution: Copper
Water Source: Public	Plumbing Waste (visible only): ABS Cast iron Galvanized	Sewage Disposal: Municipal sewage
Gas Type / Primary Energy Heat Source: Natural gas	Gas Shut Off Location: The right exterior side of the home	Smart Meter Installed: No
Gas Line Type: Galvanized gas pipe Steel gas pipe Flex gas line	Water Heater Power Source / Vent Type: Pressure relief valve not tested Natural gas Sheet metal vent	Water Heater Capacity / Age: 40 Gallon MFG 1996
Water Heater Manufacturer: RELIANCE	Water Heater Location: In the kitchen closet	Laundry Type and Venting: Washer connections Gas dryer connection Dryer vents at exterior wall

4.0 WATER HEATERS

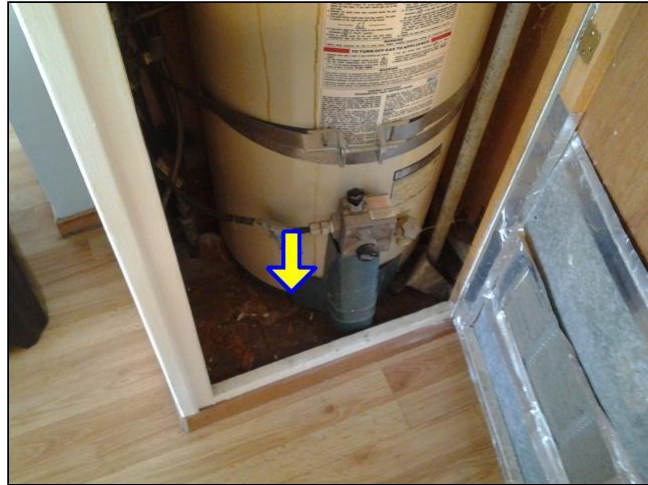
Comments: Repair or Replace

(1) Water heater seismic restraint system appears insufficient. Although the water heater is strapped with the correct straps, recommend the straps are installed on either side of the water heater to prevent movement. Before purchasing the property, further study and corrections, as needed, by a qualified licensed contractor are advised.



4.0 Item 1(Picture)

(2) Recommend installing a drain pan under the water heater with a drain to the exterior. This is recommended in case of a water leak at the water heater. The water will most likely drain to the exterior. Modification or addition is generally considered an upgrade which should improve safety or efficiency. The opinion of a qualified licensed contractor is recommended.



4.0 Item 2(Picture)

4.1 SEWER / DRAINS / VENTS (VISIBLE ONLY)

Comments: Inspected

4.2 DRAIN TRAPS

Comments: Repair or Replace

Drain trap improper. An S trap has been installed under the hall bathroom sink. This type of drain is improper and likely to siphon the trap during use and can allow sewer gases to enter the home. Further evaluation and repair as needed by a qualified licensed plumbing contractor is recommended.



4.2 Item 1(Picture)

4.3 WATER LINES (VISIBLE ONLY)

Comments: Repair or Replace

Water flow rate slows when two or more faucets are on. The flow reduction was significant at the time of the inspection. It is possible that the galvanized water lines are clogged inside the pipes and may need to be replaced to correct the flow. It is recommended that the finding be further evaluated by a qualified licensed plumber before purchasing the property.

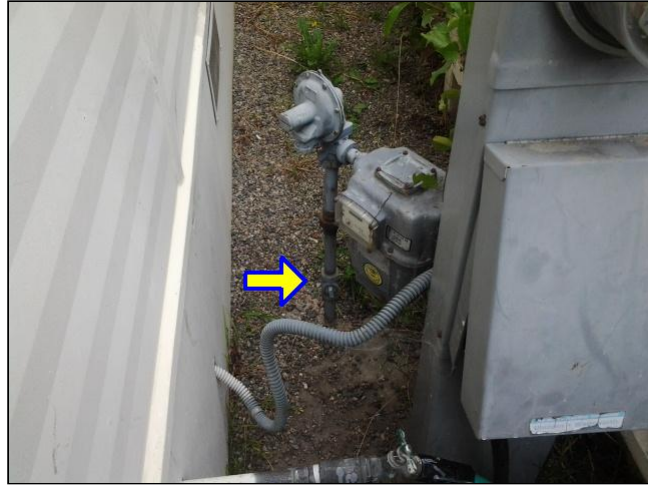


4.3 Item 1(Picture)

4.4 GAS LINES (VISIBLE ONLY)

Comments: Repair or Replace

Recommend installing a wrench for the gas meter to turn off in case of an emergency. The wrench can be purchased at most hardware stores.



4.4 Item 1(Picture)

4.5 FAUCETS / FIXTURES / VALVES

Comments: Inspected

4.6 EXTERIOR WATER FAUCETS

Comments: Inspected

4.7 WASHER / DRYER / LAUNDRY

Comments: Inspected

5. Electrical System

Any electrical repairs attempted by anyone other than a licensed electrician should be approached with caution. The power to the entire house should be turned off prior to beginning any repair efforts, no matter how trivial the repair may seem. Aluminum wiring requires periodic inspection and maintenance by a licensed electrician. Operation of time clock motors are not verified. Inoperative light fixtures often lack bulbs or have dead bulbs installed. Light bulbs are not changed during the inspection due to time constraints. Smoke alarms should be installed in hallways, all levels of the home and just inside bedroom doors and tested regularly. Electrical panels and outlets which are not attached to the home are not inspected. We recommend further evaluation and testing of these by a licensed electrician.

Styles & Materials

Main Panel Location:

The right exterior side of the home

Smart Meter Installed:

No

Panel capacity:

50 amp

Sub Panel Location(s):

In a bedroom

Electric Panel Manufacturer:

GENERAL ELECTRIC

Grounding Method:

Grounding method not ascertained

Electrical Service Conductors:

Below ground service

Single disconnect

110 volts

220 volts

Exterior main service panel

Distribution Systems:

Sub-panel(s)

Circuit breakers

Nonmetallic sheathed cable (Romex)

Copper wires

Aluminum wiring (not in general lighting circuits)

Items

5.0 SERVICE ENTRANCE CONDUCTORS

Comments: Inspected

5.1 MAIN / SUB-PANELS

Comments: Inspected

5.2 BREAKERS / FUSES

Comments: Repair or Replace

Breaker knockout missing from main-panel (exposes bus bar). Recommend installing knock-out covers at the panel. Knock-out covers are inexpensive plastic covers that cover exposed bus bars. Usually these are simply snapped into place. Knock-out covers prevent access to live power. The finding does not conform to building standards and practices in effect at the time of construction or installation. Before purchasing the property, further study and corrections, as needed, by a qualified licensed contractor are advised.



5.2 Item 1(Picture)

5.3 CIRCUIT WIRING (where visible)

Comments: Inspected

5.4 JUNCTION BOXES / CONDUITS

Comments: Inspected

5.5 LIGHTING / SWITCHES

Comments: Inspected

5.6 RECEPTACLE OUTLETS

Comments: Inspected

5.7 GFCI / SYSTEM GROUNDING

Comments: Inspected

6. Bathroom

Shower pans are visually checked for leakage, but leaks often do not show except when the shower is in actual use. Determining whether shower pans, tub/shower surround are water tight is beyond the scope of this inspection. It is very important to maintain all grouting and caulking in the bath wet areas. Very minor imperfections can allow water to get into the wall or floor areas and cause damage. Proper on going maintenance will be required in the future.

Styles & Materials

Bathtub Types:

Pressed steel bathtub(s)

Shower Floor Types:

Tub / shower combination

Tub / Shower Walls:

Fiberglass

Tub / Shower Doors / Enclosure:

Shower curtain

Wash Basin(s):

Cultured marble wash basin(s)
Sink and countertop 1 piece

Countertop Materials:

Cultured marble countertop(s)

Toilet Types:

Low-flow toilets 1.6 gpf (or less) Down flush

Plumbing Accessories:

Washer type faucet(s)
Diverter valves

Ventilation:

Openable windows

Pop up stopper(s)
Under sink valves

Electrical / GFCI:
GFCI receptacles

Floor(s):
Tile floor(s)
Wood sub-floor(s)

Items

6.0 TUBS, SHOWERS

Comments: Repair or Replace



6.0 Item 1(Picture)



6.0 Item 2(Picture)

Porcelain or enamel chipped. A couple of small chips were noted on the bathtub. Maintenance, alteration or repair could be expected to improve component appearance and may decrease deterioration.

6.1 TOILETS

Comments: Inspected

6.2 SINKS

Comments: Inspected

6.3 VANITYS, COUNTERS

Comments: Inspected

6.4 VENTILATION

Comments: Inspected

6.5 FLOORS, WALLS, CEILINGS

Comments: Inspected

6.6 CAULKING AND SEALING

Comments: Inspected

6.7 TOWEL HOLDERS, MISC

Comments: Inspected

7. Interiors

The condition of walls behind wall coverings, paneling and furnishings cannot be judged. Only the general condition of visible portions of floors is included in this inspection. As a general rule, cosmetic deficiencies are considered normal wear and tear and are not reported. The paint on the walls is not tested for the presence of lead based paint. Determining the source of odors or like conditions is not part of this inspection. Floor covering damage or stains may be hidden by furniture. The condition of floors underlying floor coverings is not inspected. Determining the condition of insulated glass windows is not always possible due to temperature, weather and lighting conditions. Window flashings are usually visible therefore their condition cannot be reported on. Inspection of window coverings is outside the scope of our inspection.

Styles & Materials

Wall & Ceiling Materials:

Drywall

Floor Covering(s):

Carpet

Laminated wood floors

Interior Doors:

Wood product door(s)

Hinged doors

Sliding glass door(s) (insulated glass)

Interior Styles:

Nominal 8 foot ceilings

High ceilings (over 8 feet)

Furnished and occupied

Misc. Systems:

Ceiling fan(s)

Interior cabinetry

Extra Info : Loft

Alarms / Safety Equip.:

Smoke alarms

A carbon monoxide detector(s) is needed

Items

7.0 CEILINGS, WALLS

Comments: Inspected

7.1 FLOORS

Comments: Inspected

7.2 DOORS (REPRESENTATIVE NUMBER)

Comments: Inspected

7.3 WINDOWS (REPRESENTATIVE NUMBER)

Comments: Repair or Replace

The jalousie window cranks are missing or are stuck shut. Recommend further evaluation and repair by a qualified licensed contractor if desired.



7.3 Item 1(Picture)

7.4 ALARMS / CEILING FANS / CLOSETS

Comments: Repair or Replace

(1) Smoke alarm inoperative. Recommend replacing all non working smoke alarms and installing (PHOTOELECTRIC type smoke alarms) the smoke alarms outside the bedrooms and as a safety enhancement install smoke alarms in the bedrooms. We recommend periodic testing of smoke detectors to ensure batteries are charged. We also recommend changing batteries twice a year. The finding does not conform to building standards and practices in effect at the time of construction or installation. Before purchasing the property, further study and corrections, as needed, by a qualified repair person are advised.



7.4 Item 1(Picture)

(2) There is no carbon monoxide (CO) detector(s) found in the home. C.O detectors are recommended outside bedrooms, in each sleeping area and on every level of the home including basements. We recommend the installation of C.O detectors in compliance with SB 183.

California Carbon Monoxide Poisoning ACT or 2010 SB 183 requires that all residential property be equipped with a carbon monoxide detector when the property has a "fossil fuel" burning heater or appliance, fireplace or an attached garage. The law provides that all single family homes including individual condos (owner or tenants occupied) must be equipped with a detector on or before July 1 2011. All other residential units (multi-family apartments and condominiums) must be equipped with a C.O detector on or before January 1, 2013. For more information www.fire.ca.gov/communications/downloads/factsheets/carbonmonoxide.pdf



7.4 Item 2(Picture)

8. Kitchen

Inspection of refrigerators, stand alone freezers and built in ice makers are outside the scope of the inspection. No opinion is offered as to the adequacy of dishwasher operation. Ovens, self cleaning operations, cooking functions, clocks, timing devices, lights and thermostat accuracy are not tested during this inspection. Appliances are not moved during the inspection. Portable dishwashers are not inspected.

Styles & Materials

Range(s) / Cooktop(s):

Gas range (free-standing)

Oven(s):

Gas oven (free-standing)

Microwave Oven Installed:

No

Ventilation:

Mechanical exhaust
Openable window

Cabinets:

Built in wood cabinets

Countertop Types:

Mastic tile

Sink Type(s):

Steel enameled sink
Self-rimming sink
Washer-less faucet

Refrigerator:

Electric refrigerator

Lighting and Electric:

Incandescent lighting
Counter outlets
GFCI protection

Other Appliances:

Dishwasher

Items

8.0 RANGES / OVENS / MICROWAVE

Comments: Inspected

8.1 VENTILATION

Comments: Inspected

8.2 DISHWASHER

Comments: Repair or Replace

Dishwasher air gap not installed. The air gap serves as across-contamination prevention device. The dishwasher is connected to potable water and to the sewer system. There must be some device to prevent the two from mixing. The air-gap serves that purpose. Recommend an air gap be installed.



8.2 Item 1(Picture)

8.3 DISPOSAL / TRASH COMPACTOR

Comments: Not Present

8.4 COUNTERS / CABINETS

Comments: Inspected

8.5 SINK / FAUCET / DRAIN

Comments: Repair or Replace

Sink enamel or porcelain chipped. Chips were noted on the kitchen sink. Maintenance, alteration or repair could be expected to improve component appearance and may decrease deterioration.



8.5 Item 1(Picture)

8.6 FLOOR

Comments: Inspected

8.7 REFRIGERATOR

Comments: Inspected

9. Structure

Areas hidden from view by finished walls or stored items cannot be judged and are not part of this inspection. Minor cracks are typical on many foundations and most do not represent a structural problem. If major cracks are present along with bowing, we routinely recommend further evaluation be made by a qualified structural engineer. All exterior grades should allow for surface and roof water to flow away from the foundation. All concrete floor slabs experience some degree of cracking due to shrinkage in the drying process. In most instances floor coverings prevent recognition of cracks or settlement in all but the most severe cases. Where carpeting and other floor coverings are installed, the materials and condition of the flooring underneath cannot be determined.

Styles & Materials

Foundation:

Post and pier beam

Exterior Walls Structural Components:

Wood framing

Floor Structural Components:

Plywood/OSB sub-floor

Method Used To Observe Crawlspace:

Partially viewed

Could not fully access

Insulation covered sub-floor and joists and blocked full viewing

Low framing blocked full access

Vapor barrier blocked full viewing

Limited access

Sub-Area Access Location:

At the right exterior side of the home

Sub-Area Insulation Thickness & Type:

1 to 4 inches

Fiberglass

Roof Structure:

Plywood / OSB roof sheathing

Method Used To Observe Attic:

This home has no attic

Attic Insulation Thickness & Type:

Not verified

Items

9.0 FOUNDATION / SLAB (where visible)

Comments: Repair or Replace



9.0 Item 1(Picture)



9.0 Item 2(Picture)

Earthquake bracing or anchors have NOT been installed in the sub-area under the mobile home. Modification or addition is generally considered an upgrade which should improve safety or efficiency. The opinion of a qualified licensed contractor is recommended.

9.1 BUILDING FRAMING MEMBERS

Comments: Repair or Replace

Wood deterioration noted in sub-flooring in the bedroom by the door to the exterior. Recommend refer to pest inspection or a licensed Contractor for further information concerning all possible areas with dry rot, pest or fungus damage.



9.1 Item 1(Picture)

9.2 BASEMENT / CRAWLSPACE / VENTILATION

Comments: Repair or Replace



9.2 Item 1(Picture)



9.2 Item 2(Picture)



9.2 Item 3(Picture)

(1) Earth-to-wood contact noted under the front of the home. There is some fungus damage to the area. Recommend removing soil to break all earth to wood contact in the sub-area and refer to pest inspection for possible damage.

(2) Clearance under the left side of the home insufficient for access. The sub-area access is less than 18 inches of clearance between the soil and the floor joists making it inaccessible for physical inspection. Recommend further inspection after areas is made accessible.



9.2 Item 4(Picture)

9.3 ATTIC / VENTILATION

Comments: Not Present

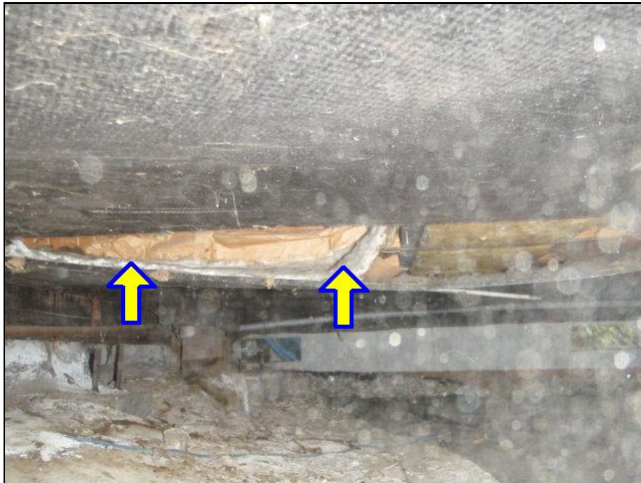
9.4 INSULATION / AIR / VAPOR / MOISTURE BARRIER

Comments: Repair or Replace

(1) Access impaired. The sub-floors were not fully viewed from the sub-area. Vapor barrier / belly board covers the sub-floor which prevents viewing. The vapor barrier also covers areas of the heating ducting, electrical wiring and water lines.



9.4 Item 1(Picture)



9.4 Item 2(Picture)



9.4 Item 3(Picture)

(2) Vapor barrier / belly board gapped under the home near the bathroom. Recommend repairing the vapor barrier as needed. The purpose of the vapor barrier is to protect insulation and help keep small animals out.

9.5 REVIEW BY OTHER CONTRACTORS / ACCESS IMPAIRED

Comments: Repair or Replace

(1) Review pest inspection report for wood rot and wood boring insect information. A pest inspection is advised. Be aware that a Home Inspection and a Pest Inspection are two different Inspections. It is always recommended that a current qualified Pest Inspection be performed for pest damage and possibly dry-rot or fungus damage. Be sure to carefully read the entire Pest Inspection report.

(2) Remodel, alterations, or additions noted. Areas of the home have been added on. Be sure to check for permits. The inspector cannot ascertain whether or not permits were used.



9.5 Item 1(Picture)

(3) Rodent activity noted. You may desire to have treatment carried out by a licensed exterminator.

Summary / Safety / Health Deficient Items:

Country Home Inspection and Termite Inc.

P.O. Box 913

Boulder Creek CA 95006

Office (831) 609-6017 Fax 609-6037 E-mail CountryHomeInspection@gmail.com

Customer

Melissa and Will Jenkins

Address

2120 N. Pacific Avenue #54

Santa Cruz CA 95060

The following items or discoveries indicate that these systems or components **do not function as intended** or **adversely affects the safety of the dwelling**; or **warrants further investigation by a specialist**, or **requires subsequent observation**. This summary shall not contain recommendations for routine upkeep of a system or component to keep it in proper functioning condition or recommendations to upgrade or enhance the function or efficiency of the home. This Summary is not the entire report. The complete report may include additional information of concern to the customer. It is recommended that the customer read the complete report.

1. Grounds

1.1 STAIRS

Repair or Replace

Exterior stairway height varies more than 3/8 of an inch. Noted on the rear stairs. Improper rise or run was noted at the stairs. This means that one or more of the stairs was higher or longer than the others or that the length of the stairs does not meet current standards. This should be considered a tripping hazard and correction is recommended.

4. Plumbing System

4.0 WATER HEATERS

Repair or Replace

(1) Water heater seismic restraint system appears insufficient. Although the water heater is strapped with the correct straps, recommend the straps are installed on either side of the water heater to prevent movement. Before purchasing the property, further study and corrections, as needed, by a qualified licensed contractor are advised.

4.4 GAS LINES (VISIBLE ONLY)

Repair or Replace

Recommend installing a wrench for the gas meter to turn off in case of an emergency. The wrench can be purchased at most hardware stores.

5. Electrical System

5.2 BREAKERS / FUSES

Repair or Replace

5. Electrical System

Breaker knockout missing from main-panel (exposes bus bar). Recommend installing knock-out covers at the panel. Knock-out covers are inexpensive plastic covers that cover exposed bus bars. Usually these are simply snapped into place. Knock-out covers prevent access to live power. The finding does not conform to building standards and practices in effect at the time of construction or installation. Before purchasing the property, further study and corrections, as needed, by a qualified licensed contractor are advised.

7. Interiors

7.4 ALARMS / CEILING FANS / CLOSETS

Repair or Replace

(1) Smoke alarm inoperative. Recommend replacing all non working smoke alarms and installing (PHOTOELECTRIC type smoke alarms) the smoke alarms outside the bedrooms and as a safety enhancement install smoke alarms in the bedrooms. We recommend periodic testing of smoke detectors to ensure batteries are charged. We also recommend changing batteries twice a year. The finding does not conform to building standards and practices in effect at the time of construction or installation. Before purchasing the property, further study and corrections, as needed, by a qualified repair person are advised.

(2) There is no carbon monoxide (CO) detector(s) found in the home. C.O detectors are recommended outside bedrooms, in each sleeping area and on every level of the home including basements. We recommend the installation of C.O detectors in compliance with SB 183.

California Carbon Monoxide Poisoning ACT or 2010 SB 183 requires that all residential property be equipped with a carbon monoxide detector when the property has a "fossil fuel" burning heater or appliance, fireplace or an attached garage. The law provides that all single family homes including individual condos (owner or tenants occupied) must be equipped with a detector on or before July 1 2011. All other residential units (multi-family apartments and condominiums) must be equipped with a C.O detector on or before January 1, 2013. For more information www.fire.ca.gov/communications/downloads/factsheets/carbonmonoxide.pdf

Summary / Habitability / Security Deficient Items:

Country Home Inspection and Termite Inc.

P.O. Box 913

Boulder Creek CA 95006

Office (831) 609-6017 Fax 609-6037 E-mail CountryHomeInspection@gmail.com

Customer

Melissa and Will Jenkins

Address

2120 N. Pacific Avenue #54

Santa Cruz CA 95060

The following items or discoveries indicate that these systems or components **do not function as intended** or **adversely affects the habitability of the dwelling**; or **warrants further investigation by a specialist**, or **requires subsequent observation**. This summary shall not contain recommendations for routine upkeep of a system or component to keep it in proper functioning condition or recommendations to upgrade or enhance the function or efficiency of the home. This Summary is not the entire report. The complete report may include additional information of concern to the customer. It is recommended that the customer read the complete report.

2. Exterior

2.0 ROOF

Repair or Replace

(1) Full evaluation and written findings with costs to cure by a qualified Roofing Contractor advised for all areas and components of the roof before the contingency release period. Sections of the roof material is lifting. Exposed nail heads are noted at various locations. Several areas of the roof have been patched.

2.4 WINDOWS / SKYLIGHTS

Repair or Replace

Window screen(s) are missing. Noted on a couple of windows in the home. Recommend the screens be repaired or replaced as needed.

3. Heating / Air Conditioning

3.0 HEATING EQUIPMENT

Repair or Replace

The furnace is an older unit. The typical life span of a furnace is 15 to 20 years. Many furnaces last well beyond this age. Because most components are not visible we recommend the furnace be further evaluated by a qualified HVAC contractor or have PG&E do a safety check. Anticipate the need for replacement.

3.3 FILTER

Repair or Replace

The furnace filter is missing. The filter needs to be installed. I recommend service or repair as needed.

3.5 PRESENCE OF INSTALLED HEAT SOURCE IN EACH ROOM

Repair or Replace

There is no heat source for the left side rooms. This is for your information.

4. Plumbing System

4.2 DRAIN TRAPS

Repair or Replace

Drain trap improper. An S trap has been installed under the hall bathroom sink. This type of drain is improper and likely to siphon the trap during use and can allow sewer gases to enter the home. Further evaluation and repair as needed by a qualified licensed plumbing contractor is recommended.

4.3 WATER LINES (VISIBLE ONLY)

Repair or Replace

Water flow rate slows when two or more faucets are on. The flow reduction was significant at the time of the inspection. It is possible that the galvanized water lines are clogged inside the pipes and may need to be replaced to correct the flow. It is recommended that the finding be further evaluated by a qualified licensed plumber before purchasing the property.

9. Structure

9.1 BUILDING FRAMING MEMBERS

Repair or Replace

Wood deterioration noted in sub-flooring in the bedroom by the door to the exterior. Recommend refer to pest inspection or a licensed Contractor for further information concerning all possible areas with dry rot, pest or fungus damage.

9.4 INSULATION / AIR / VAPOR / MOISTURE BARRIER

Repair or Replace

(2) Vapor barrier / belly board gapped under the home near the bathroom. Recommend repairing the vapor barrier as needed. The purpose of the vapor barrier is to protect insulation and help keep small animals out.

9.5 REVIEW BY OTHER CONTRACTORS / ACCESS IMPAIRED

Repair or Replace

(1) Review pest inspection report for wood rot and wood boring insect information. A pest inspection is advised. Be aware that a Home Inspection and a Pest Inspection are two different Inspections. It is always recommended that a current qualified Pest Inspection be performed for pest damage and possibly dry-rot or fungus damage. Be sure to carefully read the entire Pest Inspection report.

(2) Remodel, alterations, or additions noted. Areas of the home have been added on. Be sure to check for permits. The inspector cannot ascertain whether or not permits were used.

(3) Rodent activity noted. You may desire to have treatment carried out by a licensed exterminator.

Summary / Other Deficient / Note Items:

Country Home Inspection and Termite Inc.

P.O. Box 913

Boulder Creek CA 95006

Office (831) 609-6017 Fax 609-6037 E-mail CountryHomeInspection@gmail.com

Customer

Melissa and Will Jenkins

Address

2120 N. Pacific Avenue #54

Santa Cruz CA 95060

The following items or discoveries indicate that these systems or components **do not function as intended** or **adversely affects the habitability of the dwelling**; or **warrants further investigation by a specialist**, or **requires subsequent observation**. This summary shall not contain recommendations for routine upkeep of a system or component to keep it in proper functioning condition or recommendations to upgrade or enhance the function or efficiency of the home. This Summary is not the entire report. The complete report may include additional information of concern to the customer. It is recommended that the customer read the complete report.

1. Grounds

1.0 DECKS

Repair or Replace

Low deck, clearance insufficient under deck. Noted on the left side deck. The underside of the wood deck(s) and framing were not inspected due to low clearance.

2. Exterior

2.0 ROOF

Repair or Replace

(2) Application of "tar" as temporary roof repair noted. Noted at the roof at various locations. Recommend installing the proper flashing or keeping the areas sealed as needed. Areas of the tar flashing is cracking or gapped. Recommend further evaluation by a qualified licensed contractor.

2.1 GUTTERS / DOWNSPOUTS

Repair or Replace

The gutter appears to leak at the seam on the exterior of the home at various locations. I recommend cleaning and apply gutter sealant or epoxy.

2.2 SIDING / TRIM

Repair or Replace

Trim damaged on the home at various locations. The trim has signs of dry-rot or fungus damage. Recommend refer to pest inspection for exact locations and further information concerning all areas of pest, dry-rot or fungus damage.

2.3 EXTERIOR DOORS

Repair or Replace

2. Exterior

Door jamb damaged on the rear exterior door. Dry-rot or fungus damage was noted on the bottom of the jamb(s) at the door. Recommend refer to pest inspection for further information.

4. Plumbing System

4.0 WATER HEATERS

Repair or Replace

(2) Recommend installing a drain pan under the water heater with a drain to the exterior. This is recommended in case of a water leak at the water heater. The water will most likely drain to the exterior. Modification or addition is generally considered an upgrade which should improve safety or efficiency. The opinion of a qualified licensed contractor is recommended.

6. Bathroom

6.0 TUBS, SHOWERS

Repair or Replace

Porcelain or enamel chipped. A couple of small chips were noted on the bathtub. Maintenance, alteration or repair could be expected to improve component appearance and may decrease deterioration.

7. Interiors

7.3 WINDOWS (REPRESENTATIVE NUMBER)

Repair or Replace

The jalousie window cranks are missing or are stuck shut. Recommend further evaluation and repair by a qualified licensed contractor if desired.

8. Kitchen

8.2 DISHWASHER

Repair or Replace

Dishwasher air gap not installed. The air gap serves as across-contamination prevention device. The dishwasher is connected to potable water and to the sewer system. There must be some device to prevent the two from mixing. The air-gap serves that purpose. Recommend an air gap be installed.

8.5 SINK / FAUCET / DRAIN

Repair or Replace

Sink enamel or porcelain chipped. Chips were noted on the kitchen sink. Maintenance, alteration or repair could be expected to improve component appearance and may decrease deterioration.

9. Structure

9.0 FOUNDATION / SLAB (where visible)

Repair or Replace

Earthquake bracing or anchors have NOT been installed in the sub-area under the mobile home. Modification or addition is generally considered an upgrade which should improve safety or efficiency. The opinion of a qualified licensed contractor is recommended.

9.2 BASEMENT / CRAWLSPACE / VENTILATION

9. Structure

Repair or Replace

(1) Earth-to-wood contact noted under the front of the home. There is some fungus damage to the area. Recommend removing soil to break all earth to wood contact in the sub-area and refer to pest inspection for possible damage.

(2) Clearance under the left side of the home insufficient for access. The sub-area access is less than 18 inches of clearance between the soil and the floor joists making it inaccessible for physical inspection. Recommend further inspection after areas is made accessible.

9.4 INSULATION / AIR / VAPOR / MOISTURE BARRIER

Repair or Replace

(1) Access impaired. The sub-floors were not fully viewed from the sub-area. Vapor barrier / belly board covers the sub-floor which prevents viewing. The vapor barrier also covers areas of the heating ducting, electrical wiring and water lines.

Home inspectors are not required to report on the following: Life expectancy of any component or system; The causes of the need for a repair; The methods, materials, and costs of corrections; The suitability of the property for any specialized use; Compliance or non-compliance with codes, ordinances, statutes, regulatory requirements or restrictions; The market value of the property or its marketability; The advisability or inadvisability of purchase of the property; Any component or system that was not observed; The presence or absence of pests such as wood damaging organisms, rodents, or insects; or Cosmetic items, underground items, or items not permanently installed. Home inspectors are not required to: Offer warranties or guarantees of any kind; Calculate the strength, adequacy, or efficiency of any system or component; Enter any area or perform any procedure that may damage the property or its components or be dangerous to the home inspector or other persons; Operate any system or component that is shut down or otherwise inoperable; Operate any system or component that does not respond to normal operating controls; Disturb insulation, move personal items, panels, furniture, equipment, plant life, soil, snow, ice, or debris that obstructs access or visibility; Determine the presence or absence of any suspected adverse environmental condition or hazardous substance, including but not limited to mold, toxins, carcinogens, noise, contaminants in the building or in soil, water, and air; Determine the effectiveness of any system installed to control or remove suspected hazardous substances; Predict future condition, including but not limited to failure of components; Since this report is provided for the specific benefit of the customer(s), secondary readers of this information should hire a licensed inspector to perform an inspection to meet their specific needs and to obtain current information concerning this property.

Country Home Inspection and Termite, Inc.

P.O. Box 913 Boulder Creek, CA95006

Office: (831) 338-6269 / (831) 246-2938 Fax: (831) 338-2810 Web Site www.countryhomeinspection.com

STANDARD RESIDENTIAL INSPECTION AGREEMENT

THIS IS INTENDED TO BE A LEGALLY BINDING CONTRACT, PLEASE READ IT CAREFULLY.

Client: Melissa and Will Jenkins **Address:** 2120 N. Pacific Avenue #54, Santa Cruz, CA 95060 **Report #** 14226

SCOPE OF THE INSPECTION: The real estate inspection to be performed for Client is a survey and basic operation of the systems and components of a building, which can be reached, entered, or viewed without difficulty, moving obstructions, or requiring any action which may result in damage to the property or personal injury to the Inspector. The purpose of the inspection is to provide the Client with information regarding the general condition of the building(s).

Inspector will prepare and provide Client a written report for the sole use and benefit of Client. The written report shall document any material defects discovered in the building's systems and components which, in the opinion of the Inspector, are safety hazards, are not functioning properly, or appear to be at the ends of their service lives. The inspection shall be performed in accordance with the Standards of Practice of the American Society of Home Inspectors (ASHI), attached hereto and incorporated herein by reference, and is limited to those items specified herein.

CLIENT'S DUTY: Client agrees to read the entire written report when it is received and promptly call Inspector with any questions or concerns regarding the inspection or the written report. The written report shall be the final and exclusive findings of Inspector.

Client acknowledges that Inspector is a generalist and that further investigation of a reported condition by an appropriate specialist may provide additional information, which can affect Client's purchase decision. Client agrees to obtain further evaluation of reported conditions before removing any investigation contingency and prior to the close of the transaction.

In the event Client becomes aware of a reportable condition which was not reported by Inspector, Client agrees to promptly notify Inspector and allow Inspector and/or Inspector's designated representative(s) to inspect said condition(s) prior to making any repair, alteration, or replacement. Client agrees that any failure to so notify Inspector and allow inspection is a material breach of this Agreement.

ENVIRONMENTAL CONDITIONS: Client agrees what is being contracted for is a building inspection and not an environmental evaluation. The inspection is not intended to detect, identify, or disclose any health or environmental conditions regarding this building or property, including, but not limited to: the presence of asbestos, radon, lead, urea-formaldehyde, fungi, molds, mildew, PCBs, or other toxic, reactive, combustible, or corrosive contaminants, materials, or substances in the water, air, soil, or building materials. The Inspector is not liable for injury, health risks, or damage caused or contributed to by these conditions.

GENERAL PROVISIONS: The written report is not a substitute for any transferor's or agent's disclosure that may be required by law, or a substitute for Client's independent duty to reasonably evaluate the property prior to the close of the transaction.

This inspection Agreement, the real estate inspection, and the written report do not constitute a home warranty, guarantee, or insurance policy of any kind whatsoever.

No legal action or proceeding of any kind, including those sounding in tort or contract, can be commenced against Inspector/Inspection Company or its officers, agents, or employees more than one year from the date Client discovers, or through the exercise of reasonable diligence should have discovered, the cause of action. In no event shall the time for commencement of a legal action or proceeding exceed two years from the date of the subject inspection. **THIS TIME PERIOD IS SHORTER THAN OTHERWISE PROVIDED BY LAW.**

This Agreement shall be binding upon and inure to the benefit of the parties hereto and their heirs, successors, and assigns.

This Agreement constitutes the entire integrated agreement between the parties hereto pertaining to the subject matter hereof and may be modified only by a written agreement signed by all of the parties hereto. No oral agreements, understandings, or representations shall change, modify, or amend any part of this Agreement.

Each party signing this Agreement warrants and represents that he/she has the full capacity and authority to execute this Agreement on behalf of the named party. If this Agreement is executed on behalf of Client by any third party, the person executing this Agreement expressly represents to Inspector that he/she has the full and complete authority to execute this Agreement on Client's behalf and to fully and completely bind Client to all of the terms, conditions, limitations, exceptions, and exclusions of this Agreement.

SEVERABILITY: Should any provision of this Agreement be held by a court of competent jurisdiction to be either invalid or unenforceable, the remaining provisions of this Agreement shall remain in full force and effect, unimpaired by the court's holding.

MEDIATION: The parties to this Agreement agree to attend, in good faith, mediation with a retired judge or lawyer with at least 5 years of mediation experience before any lawsuit is filed. All notices of mediation must be served in writing by return receipt requested allowing 30 days for response. If no response is forthcoming the moving party may then demand binding arbitration under the terms and provisions set forth below.

ARBITRATION: Any dispute concerning the interpretation or enforcement of this Agreement, the inspection, the inspection report, or any other dispute arising out of this relationship, shall be resolved between the parties by binding arbitration conducted in accordance with California Law, except that the parties shall select an arbitrator who is familiar with the real estate profession. The parties agree that they shall be entitled to discovery procedures within the discretion of the arbitrator. The arbitrator shall manage and hear the case applying the laws of the State of California to all issues submitted in the arbitration proceeding. The award of the arbitrator shall be final, and a judgment may be entered on it by any court having jurisdiction. Any disputes are to be arbitrated by: Judicial Arbitration and Mediation Service (JAMS).

Client acknowledges having read and understood all the terms, conditions, and limitations of this agreement and voluntarily agrees to be bound thereby and to pay the fee(s) listed here.

FORM OF PAYMENT:

Service	Price Amount	Sub-Total
Condo, Mobile Home or Townhouse Home Inspection	350.00	1 350.00
		Total Price: 350.00

Client: _____
Client: _____
Inspector: _____

Date: _____
Date: _____
Date: _____